



Record No:
ZBR-26-23

Zoning Board of
Review Application

Status: Active

Submitted On:
5/12/2026

Primary Location

O BECKWITH STREET
Cranston, RI 02910

Owner

La Nona
Construction , LLC
BECKWITH ST (235) O
CRANSTON, RI 02910

Applicant

Collin Marchand
 4 [REDACTED]
 [REDACTED]
 2 [REDACTED]
[REDACTED]

Applicant

I hereby certify that I am the owner/authorized agent of the subject property. I further certify that I am the owner/authorized agent of the developmental rights for this property. By acknowledging this application, the Applicant(s) and Landowner(s) give permission to the City/Town staff and members of the Zoning Board of Review to access the property individually or as a group for purposes of a site inspection.

Name of Applicant*

La Nona Construction, LLC

Who is Submitting this Application?*

Owner

PLEASE NOTE THAT IF THE OWNER OF SUBJECT PROPERTY IS AN LLC OR CORPORATION YOU WILL BE REQUIRED TO HAVE ATTORNEY REPRESENTATION.

Location for Application


Please Note - The Address and/or Plat/ lot is required to continue with this application

Property Location Type*

Plat/Lot

Plat*

6

Lot(s)* 

332

Type of Application

Application Type*

Dimensional Variance

Proposed*

New Building

New Building Type*

One Family Dwelling

Total Square Footage*

1920

Width in Feet*

24

Length in Feet*

960

Height Above Grade*

33

Number of Stories*

2

Setbacks:

Indicate the amount of Dimensional Relief being sought from the property boundaries (if none please indicate 0)

Front Yard in Feet*

0

Rear Yard in Feet*

0

Side Yard in Feet*

0

Corner Side Yard in Feet*

0

Height in Feet*

0

Provision(s) of the Zoning Ordinance (if known)

17.92.010 – Variance:

Section 17.20.120 – Schedule of Intensity Regulations & 17.88.010 Substandard lots of record and lot mergers

Describe the extent of the proposed alterations and the reasons for the requesting relief*

The applicant is proposing the construction of a new single-family residence on a vacant lot located at 235 Beckwith Street. The proposed home is designed to comply with the surrounding neighborhood character while maximizing the functional use of the property. The smaller lower flow deck will be removed.


Existing Lot Specifications

Current Use of Premises*	Lot Area*
Residential	5000
Lot Frontage*	Lot Depth*
50	100

Applicant Sign off

I , the UNDERSIGNED, swear that all information provided in this APPLICATION is to the best of MY knowledge complete and correct in every detail.

Digital Signature*

 **Jose Suarez**
May 11, 2026

**PROJECT
OWNER/APPLICANT**

PROJECT OWNER & APPLICANT
LA NONA CONSTRUCTION, LLC
ATTN: JOSE SUAREZ
154 CHAPIN AVENUE
PROVIDENCE, RI 02909
PHONE: (401) 400-9090
EMAIL: cssconstructionri@gmail.com

FLOOD NOTE

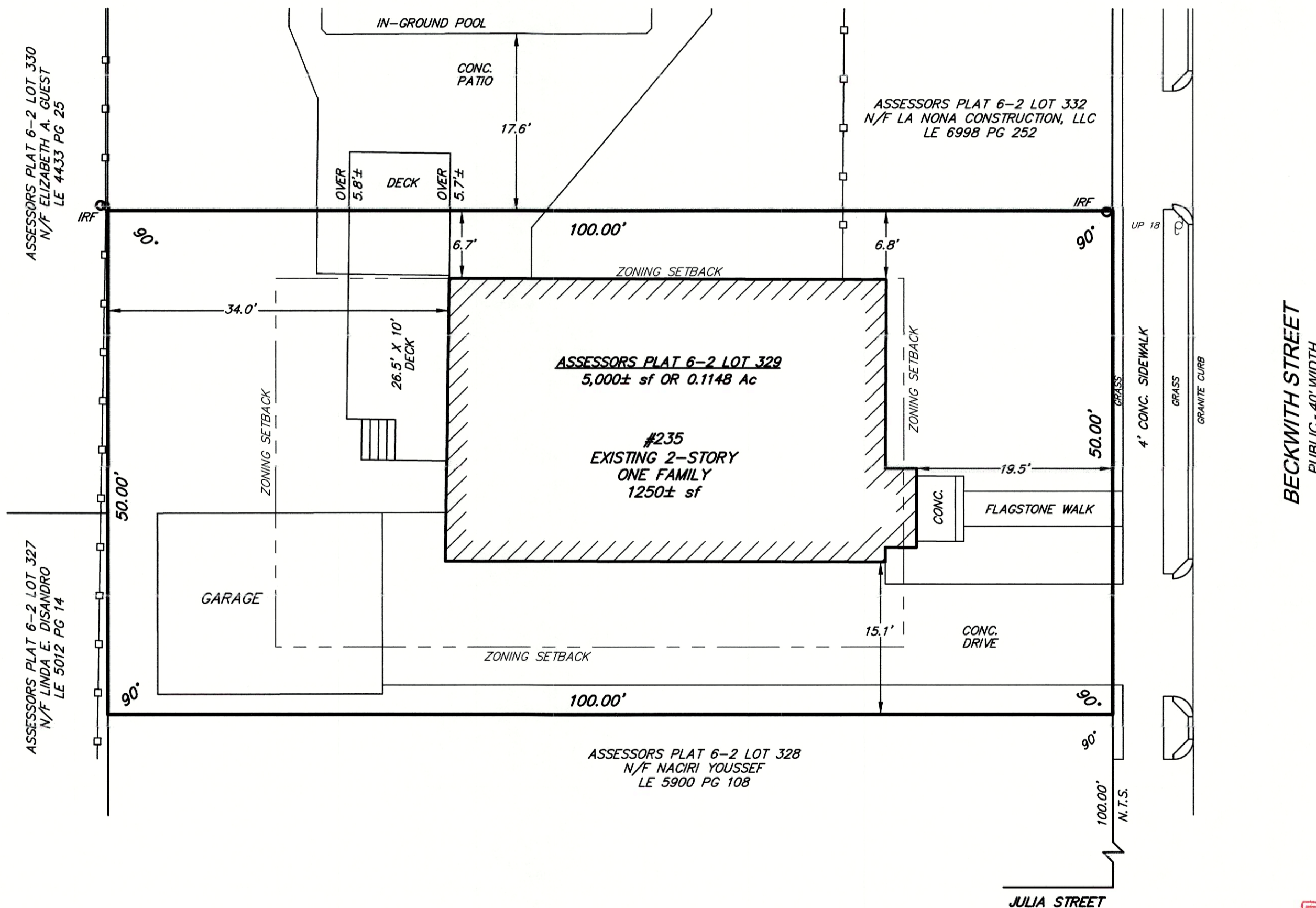
ALL OF PROJECT AREA FALLS WITHIN
ZONE "X" (AREAS OUTSIDE OF 0.2%
ANNUAL FLOOD CHANCE). FEMA MAP:
44007C0316G EFFECTIVE: 03/02/2009

NOTES

- 1) CONTRACTOR SHALL CONTACT "DIG SAFE" PRIOR TO ANY CONSTRUCTION ON AND OFF PREMISES FOR VERIFICATION OF UNDERGROUND UTILITIES.
- 2) ZONING CALCULATIONS: 6,000 sf REQUIRED, 5,269 sf ACTUAL. $5,000 / 6,000 = 0.833$.
FRONT SETBACK $25' * 0.833 = 20.8'$
SIDE SETBACK $8' * 0.833 = 6.7'$
REAR SETBACK $20' * 0.833 = 16.7'$
- 3) BUILDING ENVELOPE = 2,288± sf (AREA INSIDE OF ZONING SETBACK BOUNDARIES)

ZONING TABLE

ZONE B-1 SINGLE-FAMILY	REQUIRED	AP 6-2 LOT 329 EXISTING
MINIMUM SQUARE FEET	6,000 sf	5,000 sf
MINIMUM LOT WIDTH & FRONTAGE	60'	50.00'
MAXIMUM LOT COVERAGE	35%	33%
MAXIMUM HEIGHT	35'	NOT OBSERVED
FRONT SETBACK	20.8'	19.5'
SIDE SETBACK	6.7'	6.7'
REAR SETBACK	16.7'	34.0'



REFERENCES

- 1) LAND EVIDENCE 6998 PAGE 252 (SUBJECT DEED)
- 2) PLAN ENTITLED: "PLAN OF WEST ELMWOOD" IN CRANSTON, R.I. BY J. HOME. 1872 PLAT BOOK 2B PAGE 61 & PLAT CARD 61.
- 3) PLAN ENTITLED: "LUVIA PARK" CRANSTON, R.I. BY FRANK E. WATERMAN. FEB. 1907. PLAT BOOK 7 PAGE 12 & PLAT CARD 177.

SURVEY CERTIFICATION

435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 15, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY	MEASUREMENT SPECIFICATION
LIMITED CONTENT BOUNDARY SURVEY	CLASS I
DATA ACCUMULATION SURVEY	CLASS III

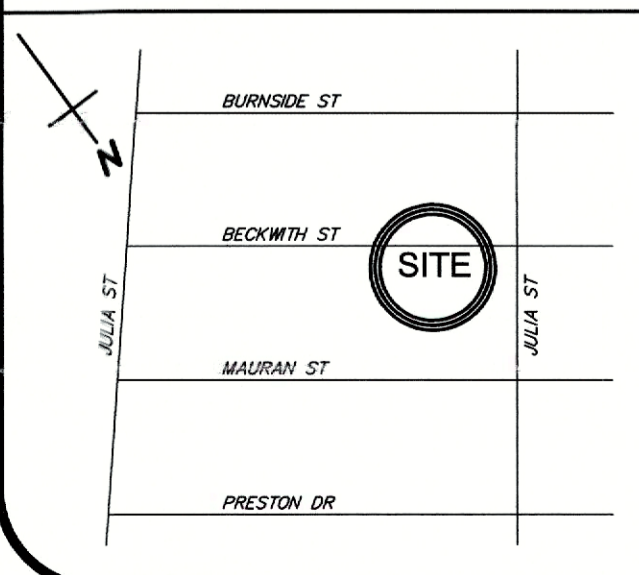
THE PURPOSE OF THIS CONTENT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

TO ESTABLISH RECORD BOUNDARY LINES, IN ORDER TO MAKE A PLAN OF LAND.

BY: *Robert S. Engelhardt* DATE: 4/13/2026

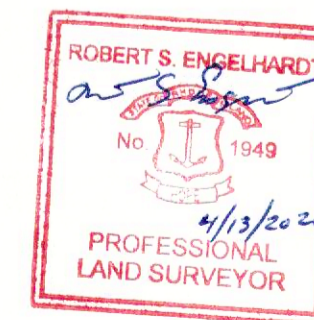
BY: ROBERT S. ENGELHARDT, PLS; LICENSE #1949; COA # A-437

**LOCUS MAP
NOT TO SCALE**



LEGEND

- UP 18 UTILITY POLE
- IRF IRON ROD FOUND
- N/F NOW OR FORMERLY
- LE/PG LAND EVIDENCE/PAGE
- N.T.S. NOT TO SCALE
- CONC. CONCRETE
- EDGE OF PAVEMENT
- 4' CLF CHAINLINK FENCE
- 6' STK STOCKADE/VINYL FENCE
- ZONING SETBACK LINE
- HEDGES



PLAN OF LAND

BECKWITH STREET
ASSESSORS PLAT 6-2 LOT 329
CRANSTON, RHODE ISLAND

PREPARED FOR: LA NONA CONSTRUCTION, LLC
PREPARED BY: ENGELHARDT SURVEYING, LLC
18 TIMBERLINE DRIVE
WARWICK, RHODE ISLAND 02886
TEL. 401-467-1940

SCALE 1"=10' APRIL, 2026 SHEET 1 OF 1

**PROJECT
OWNER/APPLICANT**

PROJECT OWNER & APPLICANT
LA NONA CONSTRUCTION, LLC
ATTN: JOSE SUAREZ
154 CHAPIN AVENUE
PROVIDENCE, RI 02909
PHONE: (401) 400-9090
EMAIL: cssconstructionri@gmail.com

FLOOD NOTE

ALL OF PROJECT AREA FALLS WITHIN
ZONE "X" (AREAS OUTSIDE OF 0.2%
ANNUAL FLOOD CHANCE). FEMA MAP:
44007C0316G EFFECTIVE: 03/02/2009

NOTES

- 1) CONTRACTOR SHALL CONTACT "DIG SAFE" PRIOR TO ANY CONSTRUCTION ON AND OFF PREMISES FOR VERIFICATION OF UNDERGROUND UTILITIES.
- 2) BUILDING ENVELOPE = 1,870± sf (AREA INSIDE OF ZONING SETBACK BOUNDARIES)

ZONING TABLE

ZONE B-1 SINGLE-FAMILY	REQUIRED	AP 6-2 LOT 332	
		EXISTING	PROPOSED
MINIMUM SQUARE FEET	6,000 sf	5,000 sf	N/A
MINIMUM LOT WIDTH & FRONTAGE	60'	50.00'	N/A
MAXIMUM LOT COVERAGE	35%	0%	20%
MAXIMUM HEIGHT	35'	N/A	28'±
FRONT SETBACK	25'	N/A	25.0'
SIDE SETBACK	8'	N/A	8.0'
REAR SETBACK	20'	N/A	35.0'

REFERENCES

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- 2) PLAN ENTITLED: "PLAN OF WEST ELMWOOD" IN CRANSTON, R.I. BY J. HOME. 1872 PLAT BOOK 2B PAGE 61 & PLAT CARD 61.
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TYPE OF BOUNDARY SURVEY LIMITED CONTENT BOUNDARY SURVEY DATA ACCUMULATION SURVEY
MEASUREMENT SPECIFICATION CLASS I CLASS III

THE PURPOSE OF THIS CONTENT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
TO ESTABLISH RECORD BOUNDARY LINES, IN ORDER TO PRESENT A PROPOSED DWELLING AND PARKING SCHEME.

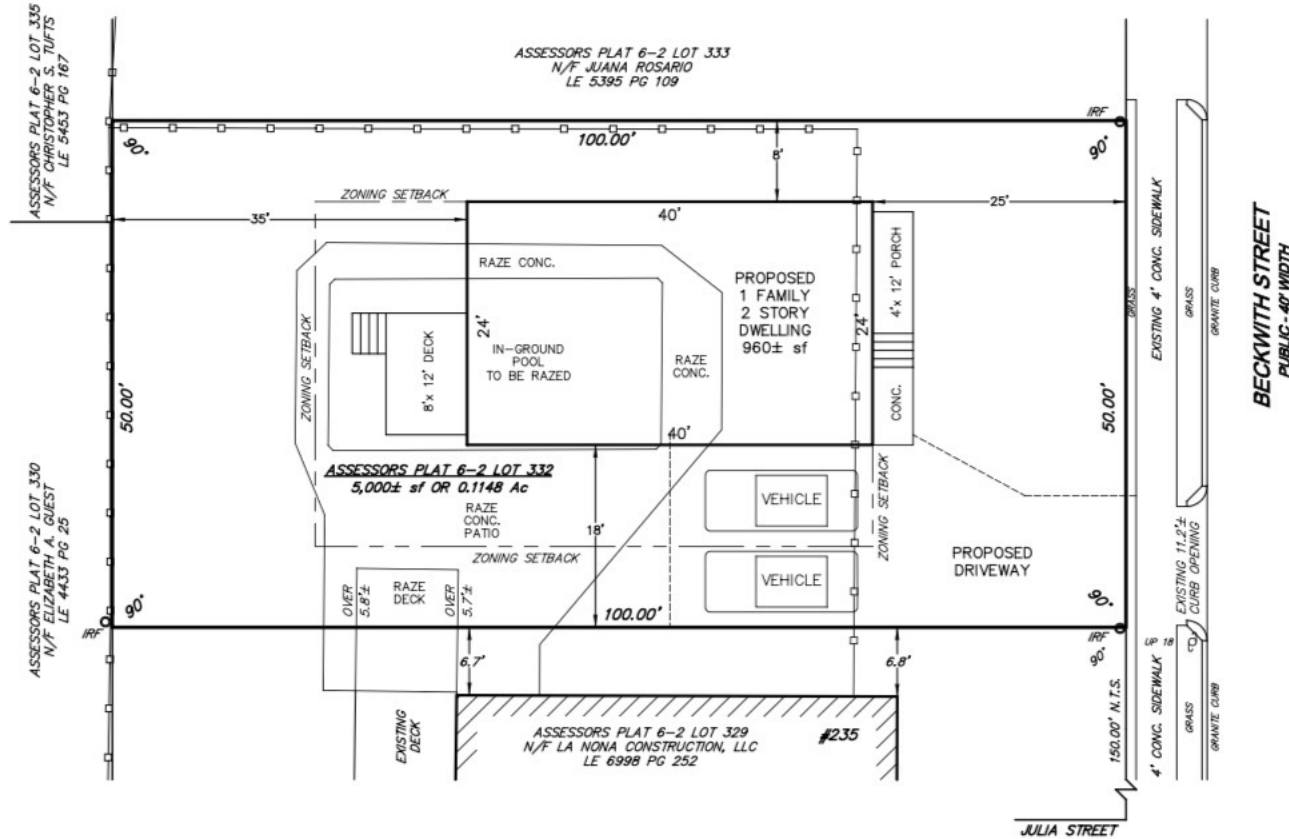
BY: _____ DATE: _____

BY: ROBERT S. ENGELHARDT, PLS; LICENSE #1949; COA # A-437

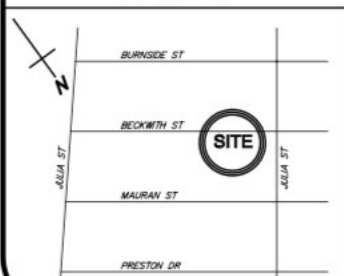
CONCEPTUAL SITE PLAN

BECKWITH STREET
ASSESSORS PLAT 6-2 LOT 332
CRANSTON, RHODE ISLAND
PREPARED FOR: LA NONA CONSTRUCTION, LLC
PREPARED BY: ENGELHARDT SURVEYING, LLC
18 TIMBERLINE DRIVE
WARWICK, RHODE ISLAND 02886
TEL. 401-467-1940

SCALE 1"=10' MAY, 2026 SHEET 1 OF 1



**LOCUS MAP
NOT TO SCALE**



LEGEND

- UP 18 °C
- IRF ○
- N/F
- LE/PG
- N.T.S.
- CONC.
- EDGE OF PAVEMENT
- CHAINLINK FENCE
- STOCKADE/VINYL FENCE
- ZONING SETBACK LINE
- UTILITY PLOE
- IRON ROD FOUND
- NOW OR FORMERLY
- LAND EVIDENCE/PAGE
- NOT TO SCALE
- CONCRETE



ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:

1. 2015 INTERNATIONAL BUILDING CODE FOR ONE AND TWO FAMILY DWELLINGS.
2. VFCM: WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS, 2001 EDITION
3. VFCM: WOOD FRAME CONSTRUCTION IN MANUAL GUIDE FOR WOOD CONSTRUCTION IN HIGH WIND AREAS FOR ONE AND TWO FAMILY DWELLINGS, 100 MPH.
4. PRESCRIPTIVE RESIDENTIAL WOOD DECK CONSTRUCTION GUIDE (BASED ON THE 2012 INTERNATIONAL RESIDENTIAL CODE)
5. INTERNATIONAL FIRE CODE
6. INTERNATIONAL MECHANICAL CODE
7. INTERNATIONAL FUEL GAS CODE
8. NFPA LIFE AND SAFETY CODE
9. INTERNATIONAL ENERGY CODE (NFPA 70)
10. INTERNATIONAL ENERGY CONSERVATION CODE
11. STATE OF RHODE ISLAND PLUMBING CODE
12. STATE OF RHODE ISLAND ACCESSIBILITY CODE
13. STATE OF RHODE ISLAND ENERGY CONSERVATION CODE

GENERAL NOTES:

- OWNERS AND GENERAL CONTRACTOR SHALL REVIEW ALL PLANS, NOTES AND SPECIFICATIONS PRIOR TO CONSTRUCTION
- ANY ALTERATIONS TO THE PLANS MUST BE TAKEN UNDER THE ADVICE OF THE DESIGN TEAM.
- DESIGN TEAM ARE NOT LIABLE FOR STRUCTURAL BUILT FROM THESE PLANS.
- GENERAL CONTRACTOR MUST VERIFY ALL EXISTING SITE CONDITIONS.
- ALL ON SITE WORK TO BE OVERSEEN BY A LICENSED CONTRACTOR.
- ELECTRICAL, HVAC AND PLUMBING PLAN TO BE PROVIDED BY LICENSED CONSULTANTS.
- ALL PAINTS AND FINISHES TO BE PROVIDED BY OTHERS.
- ALL SPECIFICATIONS TO BE VERIFIED BY OWNER AND CONTRACTOR.
- EXTERIOR WINDOW CASING TO BE PROVIDED BY DESIGNATED LUMBER YARD.
- FIRE STOPPING REQUIRED, SHALL CUT OFF ALL CONCEALED OPENING, MINIMUM 2" NOMINAL LUMBER REQUIRED.

NOTE:

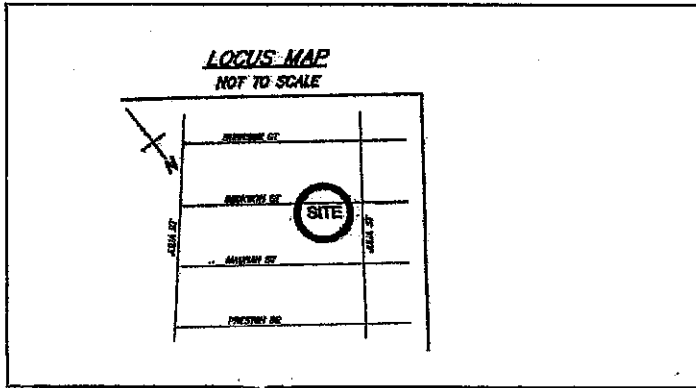
- ALL ENGINEERED FRAMING MEMBERS SIZED BY SUPPLIER OR LICENSED STRUCTURAL ENGINEER, CALCULATIONS PROVIDED BY SAME, SUGGESTED SIZE AND SPANS SHOWN TO BE VERIFY.
1. GENERAL CONTRACTOR SHALL OBTAIN ALL PERMITS AND INSPECTIONS NECESSARY TO INSURE, ISSUANCE OF OCCUPANCY PERMIT AT COMPLETION OF THE WORK.
 2. CONTRACTOR SHALL MAINTAIN ALL INSURANCE REQUIRED BY THE OWNER AND GOVERNMENTAL AUTHORITIES AND SHALL PROVIDE PROOF OF SUCH INSURANCE.
 3. ALL WORK SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES OF THE STATE OF RHODE ISLAND REQUIREMENTS SHALL BE MET
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING ALL WORK DURING CONSTRUCTION.
 5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER / DESIGNER FOR CLARIFICATION BEFORE PROCEEDING.

GENERAL NOTE:

- (1) CONFIRM TO THE FOLLOWING DESIGN LOADS REQUIREMENTS UNLESS NOTED OTHERWISE
- | | | | |
|------------------|--------|-----------|--------|
| ROOF LOAD (SNOW) | 30 PSF | WIND LOAD | 60 PSF |
| FLOOR LIVE LOAD | 60 PSF | | |

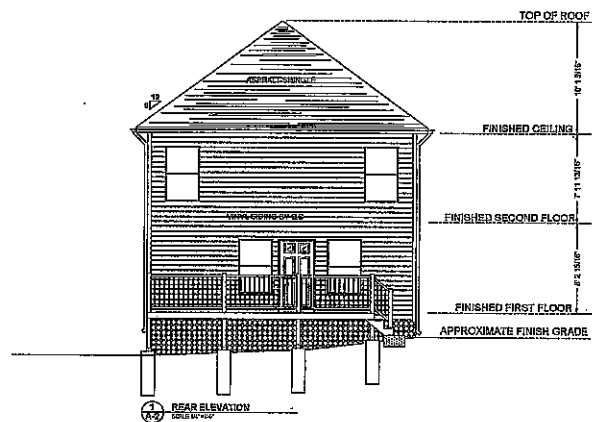
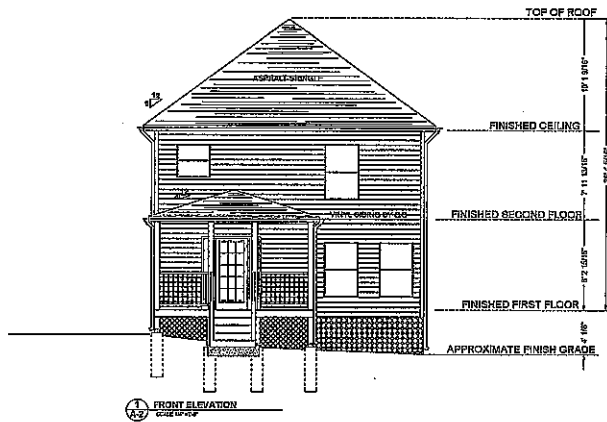
SINGLE FAMILY RENOVATION AND ADDITION

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:
 1. 2015 INTERNATIONAL BUILDING CODE FOR ONE AND TWO FAMILY DWELLINGS.
 2. VFCM: WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS, 2001 EDITION
 3. VFCM: WOOD FRAME CONSTRUCTION IN MANUAL GUIDE FOR WOOD CONSTRUCTION IN HIGH WIND AREAS FOR ONE AND TWO FAMILY DWELLINGS, 100 MPH.
 4. PRESCRIPTIVE RESIDENTIAL WOOD DECK CONSTRUCTION GUIDE (BASED ON THE 2012 INTERNATIONAL RESIDENTIAL CODE)
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- DRAWING LIST:**
- | | |
|----|---------------------------|
| A0 | COVER PAGE |
| A1 | FLOOR PLAN |
| A2 | FRONT AND REAR ELEVATIONS |
| A3 | LEFT ELEVATION |
| A4 | RIGHT ELEVATION |
| A5 | CROSS SECTION AND DETAILS |
| A6 | DETAILS |

3	REVISED	
2	REVISED	
1	REVISED	
-	DRAWN	
#1	Revision	Date
JOB: NEW CONSTRUCTION		
DRAFTSMAN: A. SOUSA		
CHECKED BY:		
SCALE: N.T.S.		
DRAWING TITLE: COVER PAGE		
DRAWING NUMBER:		
SHEET: A-0		



**SINGLE FAMILY
RENOVATION
AND ADDITION**

ALL CONSTRUCTION SHALL
COMPLY WITH THE FOLLOWING:
 1. 2018 INTERNATIONAL BUILDING CODE
 FOR SINGLE-FAMILY DWELLINGS
 2. 2018 INTERNATIONAL FIRE CODE
 3. 2018 INTERNATIONAL MECHANICAL CODE
 4. 2018 INTERNATIONAL PLUMBING AND
 MECHANICAL CODE
 5. 2018 INTERNATIONAL ENERGY CODE
 6. 2018 INTERNATIONAL ELECTRICAL CODE
 7. 2018 INTERNATIONAL SOILS AND
 FOUNDATIONS CODE
 8. 2018 INTERNATIONAL SWEET'S
 BUILDING CODE
 9. 2018 INTERNATIONAL ROADS AND
 HIGHWAYS CODE
 10. 2018 INTERNATIONAL SIGNAGE
 CODE
 11. 2018 INTERNATIONAL WINDLOAD
 AND SEISMIC DESIGN
 12. 2018 INTERNATIONAL ACCESSIBILITY
 CODE
 13. 2018 INTERNATIONAL CONSTRUCTION
 CODE

3	REVISED	
1	REVISED	
-	DRAWN	
#	Revision	Date

JOB #: NEW CONSTRUCTION

DRAFTSMAN: A. SOUSA

CHECKED BY:

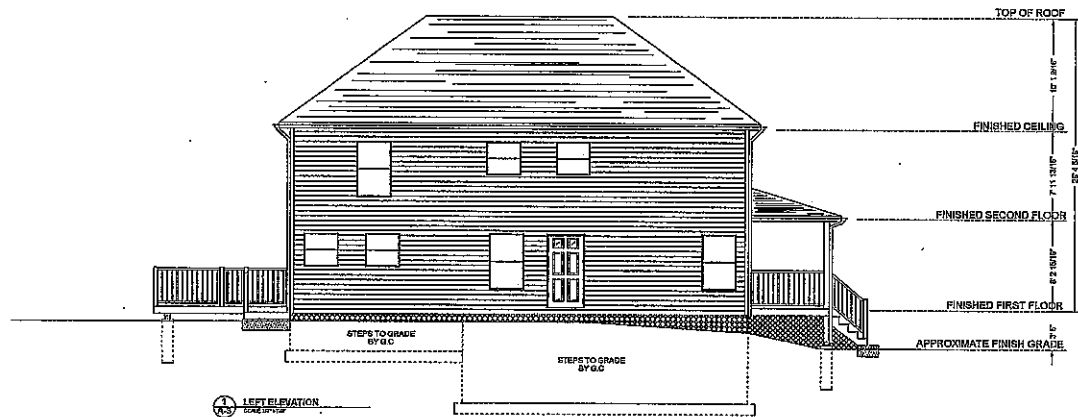
SCALE: 1/4" = 1'

DRAWING TITLE:

**FRONT & REAR
ELEVATIONS**

DRAWING NUMBER:

SHEET:



1 LEFT ELEVATION
SCALE: 1/4" = 1'

**SINGLE FAMILY
RENOVATION
AND ADDITION**

ALL CONSTRUCTION SHALL
COMPLY WITH THE FOLLOWING:

1. 2012 INTERNATIONAL BUILDING CODE FOR MULTI-FAMILY DWELLINGS
2. 2012 INTERNATIONAL RESIDENTIAL CODE
3. 2012 INTERNATIONAL ENERGY CODE
4. 2012 INTERNATIONAL FIRE CODE
5. 2012 INTERNATIONAL PLUMBING CODE
6. 2012 INTERNATIONAL MECHANICAL CODE
7. 2012 INTERNATIONAL FUEL GAS CODE
8. 2012 INTERNATIONAL SAFETY CODE
9. 2012 INTERNATIONAL ENERGY CODE
10. 2012 INTERNATIONAL ENERGY CONSERVATION CODE
11. 2012 INTERNATIONAL ENERGY CONSERVATION CODE
12. STATE OF RHODE ISLAND PLUMBING CODE
13. STATE OF RHODE ISLAND MECHANICAL CODE
14. STATE OF RHODE ISLAND FUEL GAS CODE
15. STATE OF RHODE ISLAND ENERGY CONSERVATION CODE

3	REVISED	
1	REVISED	
-	DRAWN	
#	Revision	Date

JOB # NEW CONSTRUCTION

DRAFTSMAN: A. SOUSA

CHECKED BY:

SCALE: 1/4" = 1'

DRAWING TITLE:

LEFT ELEVATION

DRAWING NUMBER:

SHEET:

A-3

A-4

DRAWING NUMBER

RIGHT ELEVATION

DRAWING TITLE

SCALE 1/4" = 1'

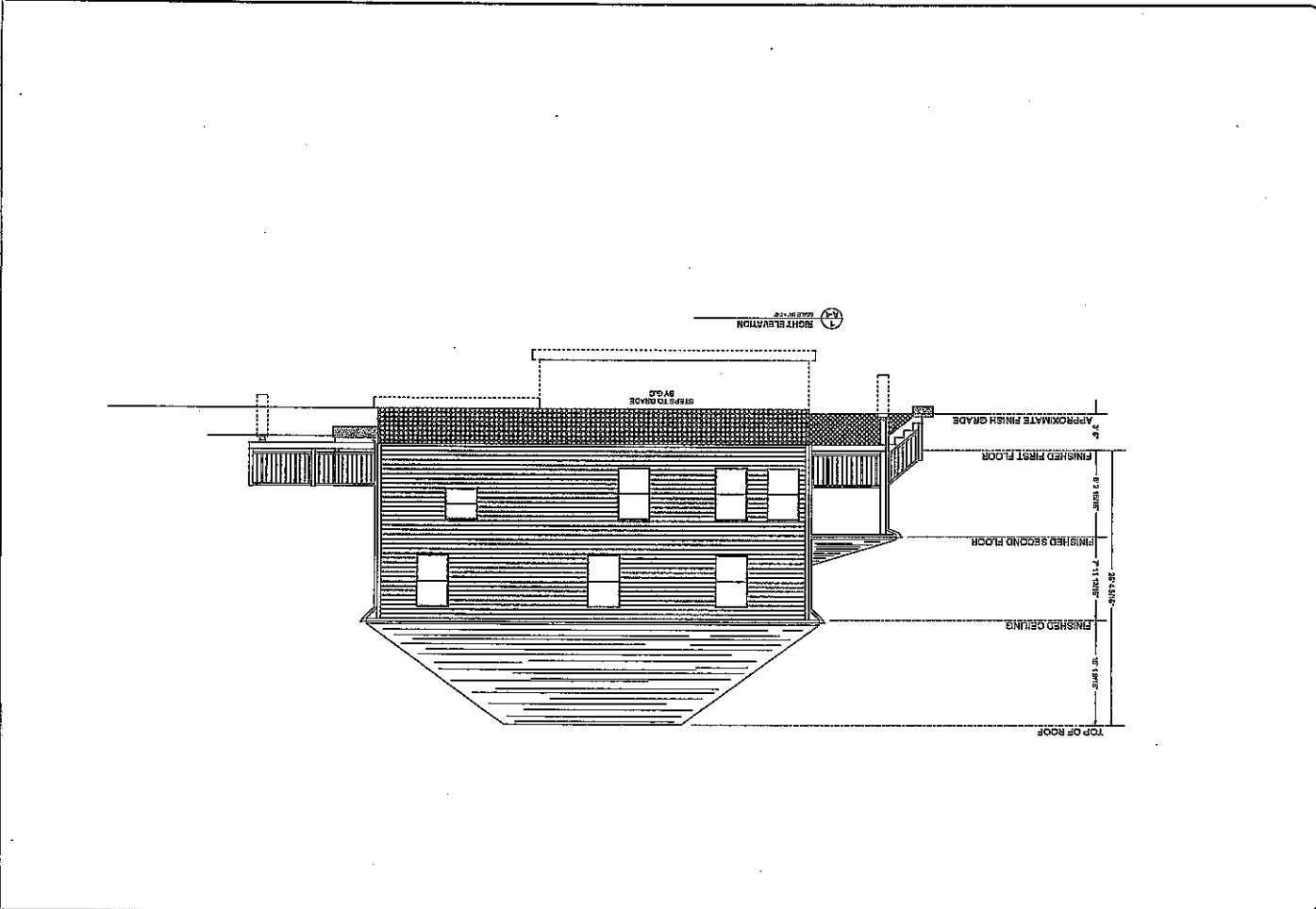
CHECKED BY

DRAWN BY A. SOUBA

FOR NEW CONSTRUCTION

#	REVISION	DATE
1	REVISED	
2	REVISED	
3	REVISED	
4	REVISED	

SINGLE FAMILY RENOVATION AND ADDITION



1. ALL DIMENSIONS UNLESS OTHERWISE NOTED SHALL BE IN FEET AND INCHES.

2. FINISH GRADE SHALL BE AS SHOWN ON THE FINISH GRADE SHEET.

3. EXISTING ROOF SHALL BE DEMOLISHED AND RECONSTRUCTED WITH 12/12 GABLE ROOF.

4. EXISTING EXTERIOR WALLS SHALL BE RECONSTRUCTED WITH 8" CMU BLOCK.

5. EXISTING INTERIOR WALLS SHALL BE RECONSTRUCTED WITH 5/8" GYP BOARD.

6. EXISTING FLOORING SHALL BE DEMOLISHED AND RECONSTRUCTED WITH 3/4" OSB.

7. EXISTING CEILING SHALL BE DEMOLISHED AND RECONSTRUCTED WITH 5/8" GYP BOARD.

8. EXISTING DOORS AND WINDOWS SHALL BE DEMOLISHED AND RECONSTRUCTED WITH 1 3/4" DOORS AND 24" x 36" WINDOWS.

9. EXISTING PORCH SHALL BE DEMOLISHED AND RECONSTRUCTED WITH 4" CONCRETE SLAB.

10. EXISTING STAIRS SHALL BE DEMOLISHED AND RECONSTRUCTED WITH 4" CONCRETE SLAB.

11. EXISTING MECHANICAL SYSTEMS SHALL BE DEMOLISHED AND RECONSTRUCTED WITH NEW SYSTEMS.

12. EXISTING ELECTRICAL SYSTEMS SHALL BE DEMOLISHED AND RECONSTRUCTED WITH NEW SYSTEMS.

13. EXISTING PLUMBING SYSTEMS SHALL BE DEMOLISHED AND RECONSTRUCTED WITH NEW SYSTEMS.

14. EXISTING INSULATION SHALL BE DEMOLISHED AND RECONSTRUCTED WITH NEW INSULATION.

15. EXISTING PAINT SHALL BE DEMOLISHED AND RECONSTRUCTED WITH NEW PAINT.

16. EXISTING TRIM SHALL BE DEMOLISHED AND RECONSTRUCTED WITH NEW TRIM.

17. EXISTING LIGHT FIXTURES SHALL BE DEMOLISHED AND RECONSTRUCTED WITH NEW LIGHT FIXTURES.

18. EXISTING CLOSET SYSTEMS SHALL BE DEMOLISHED AND RECONSTRUCTED WITH NEW CLOSET SYSTEMS.

19. EXISTING BATHROOMS SHALL BE DEMOLISHED AND RECONSTRUCTED WITH NEW BATHROOMS.

20. EXISTING KITCHENS SHALL BE DEMOLISHED AND RECONSTRUCTED WITH NEW KITCHENS.

21. EXISTING LIVING AREAS SHALL BE DEMOLISHED AND RECONSTRUCTED WITH NEW LIVING AREAS.

22. EXISTING BEDROOMS SHALL BE DEMOLISHED AND RECONSTRUCTED WITH NEW BEDROOMS.

23. EXISTING HALLWAYS SHALL BE DEMOLISHED AND RECONSTRUCTED WITH NEW HALLWAYS.

24. EXISTING STAIRS SHALL BE DEMOLISHED AND RECONSTRUCTED WITH NEW STAIRS.

25. EXISTING PORCHES SHALL BE DEMOLISHED AND RECONSTRUCTED WITH NEW PORCHES.

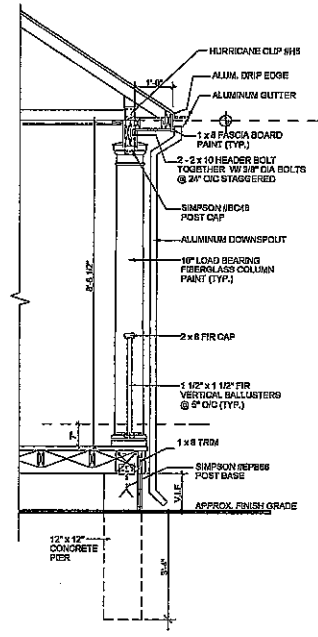
26. EXISTING DRIVEWAYS SHALL BE DEMOLISHED AND RECONSTRUCTED WITH NEW DRIVEWAYS.

27. EXISTING FENCES SHALL BE DEMOLISHED AND RECONSTRUCTED WITH NEW FENCES.

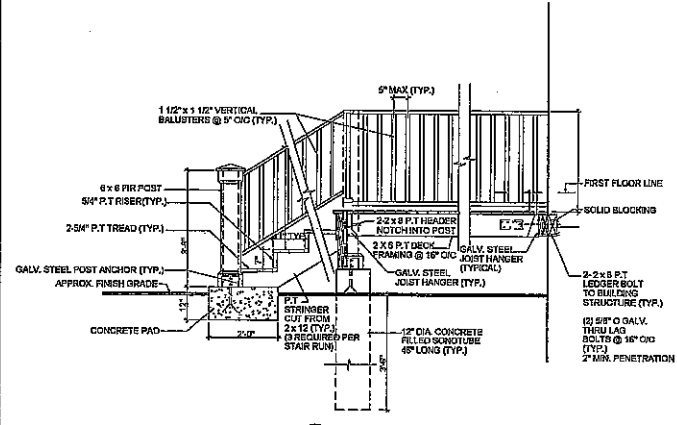
28. EXISTING LANDSCAPING SHALL BE DEMOLISHED AND RECONSTRUCTED WITH NEW LANDSCAPING.

29. EXISTING UTILITY AREAS SHALL BE DEMOLISHED AND RECONSTRUCTED WITH NEW UTILITY AREAS.

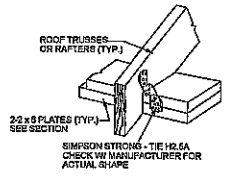
30. EXISTING GARAGES SHALL BE DEMOLISHED AND RECONSTRUCTED WITH NEW GARAGES.



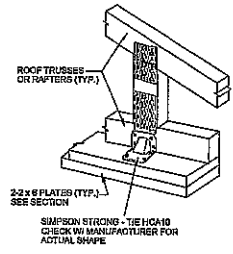
1 SECTION PORCH/DECK
A-6



2 DECK / PORCH DETAIL
A-6



3 TYPICAL HURRICANE TIES
A-6



4 TYPICAL HURRICANE TIES
A-6

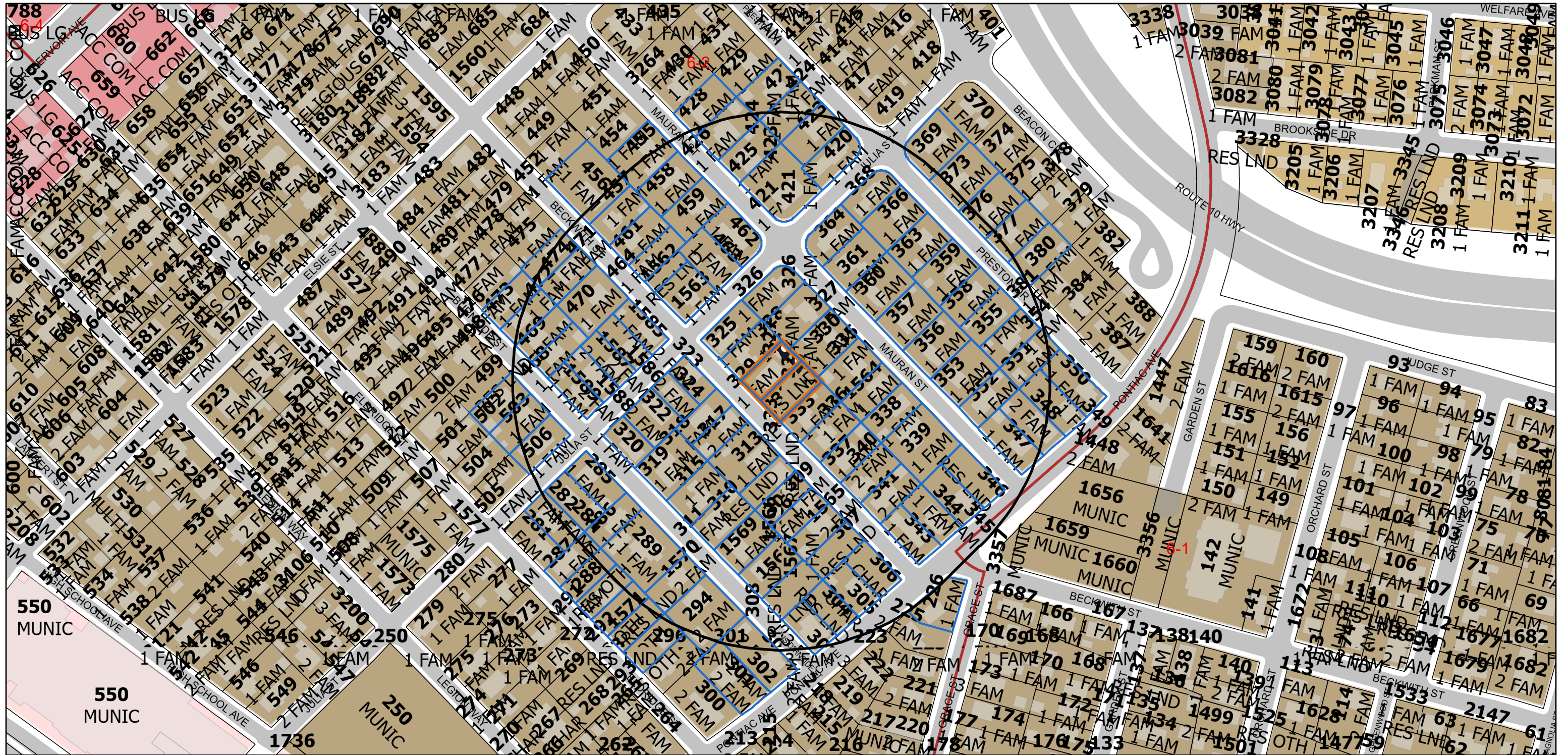
SINGLE FAMILY RENOVATION AND ADDITION

- ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:
1. INTERNATIONAL BUILDING CODE FOR ONE-FAMILY DWELLINGS
 2. INTERNATIONAL RESIDENTIAL WOOD DECK AND PORCH CONSTRUCTION
 3. INTERNATIONAL WOOD FRAME CONSTRUCTION
 4. INTERNATIONAL WOOD PRESERVATION
 5. INTERNATIONAL WOOD PRESERVATION
 6. INTERNATIONAL WOOD PRESERVATION
 7. INTERNATIONAL WOOD PRESERVATION
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#	Revision Date
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DRAFTSMAN: A. SOUSA	
CHECKED BY:	
SCALE: 1/4" = 1'	
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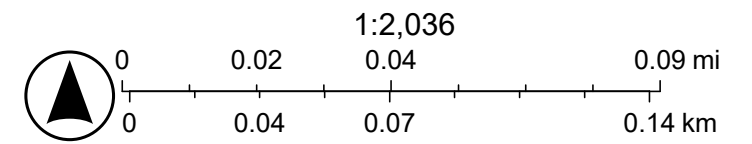
DETAILS

235 Beckwith St 400' Radius Plat 6 Lots 329, 332



4/30/2026, 9:11:51 AM

- | | | | | | |
|----------------------------------|-------------------|---------------------------|-----|----|-------|
| SelectedParcelsBuffer | Swamp | Cemeteries | A80 | B2 | M1 |
| ParcelsInBuffer | Buildings | Cranston Boundary | A20 | C1 | M2 |
| SelectedParcels | Cranston Boundary | Roads | A12 | C2 | EI |
| Labels_Radius Maps_Lot and LU v2 | Plat Bounds | Historic Overlay District | A8 | C3 | MPD |
| Hydro Poly 2001 | Easements partial | Zoning | A6 | C4 | S1 |
| Stream/Water Body | Parcels | none | B1 | C5 | Other |









Abbuter's List: 235 Beckwith St 400' Radius Plat 6 Lots 329, 332

<u>Property ID</u>	<u>Location/Land Use Description</u>	<u>Owner(s)</u>
6-1562-0	0 BECKWITH STREET RES LD UND	STEVEN D FITTA GERTRUDE M FITTA LIFE ESTATE 265 BECKWITH STREET CRANSTON, RI 02910-1805
6-1563-0	255 BECKWITH STREET SINGLE FAM MDL01	MEGAN SANDERSON TRUSTEE 255 BECKWITH STREET CRANSTON, RI 02910-1805
6-1564-0	28 MAURAN STREET SINGLE FAM MDL01	PALAZINI ANGELA M 28 MAURAN ST CRANSTON, RI 02910
6-1565-0	210 BECKWITH STREET TWO FAMILY	KHOSROV VORPERIAN SIRANUSH HAKOBYAN T/E 210 BECKWITH ST CRANSTON, RI 02910
6-1566-0	214 BECKWITH STREET TWO FAMILY	SERGIO D MARTINEZ 214 BECKWITH STREET CRANSTON, RI 02910-1851
6-1567-0	15 BURNSIDE STREET SINGLE FAM MDL01	JORGE L HERRERA SHEILAGH C HERRERA T/E 15 BURNSIDE STREET CRANSTON, RI 02910-1806
6-1569-0	19 BURNSIDE STREET SINGLE FAM MDL01	CLAIRE BLANCHETTE 19 BURNSIDE ST CRANSTON, RI 02910
6-1570-0	22 BURNSIDE STREET TWO FAMILY	KAREN ROMAN 22 BURNSIDE ST CRANSTON, RI 02910-1807
6-1571-0	0 ELDRIDGE STREET RES LD UND	ROBERT E MANCHESTER HUI HUA CHEN T/E 57 ELDRIDGE STREET CRANSTON, RI 02910-1810
6-1585-0	99 JULIA STREET SINGLE FAM MDL01	SHIRLEY J BARNEY 99 JULIA STREET CRANSTON, RI 02910-1840
6-1586-0	101 JULIA STREET TWO FAMILY	BRIAN FEENEY 101 JULIA STREET CRANSTON, RI 02910-1840
6-1587-0	105 JULIA STREET TWO FAMILY	TANIA QUEZADA SYLVIANNIE QUEZADA 105 JULIA STREET CRANSTON, RI 02910-1840
6-1588-0	111 JULIA STREET TWO FAMILY	CHRISTOPHER J MAXWELL 111 JULIA STREET CRANSTON, RI 02910-1840
6-1589-0	117 JULIA STREET SINGLE FAM MDL01	JANE MARGARET ZUKAUSKAS 117 JULIA ST CRANSTON, RI 02910-1840
6-226-0	240 PONTIAC AVENUE SINGLE FAM MDL01	DAVID MOORE BRITTNEY MOORE T/E 240 PONTIAC AVE Cranston, RI 02910
6-282-0	130 JULIA STREET SINGLE FAM MDL01	ANGELA J GORTON 130 JULIA STREET CRANSTON, RI 02910-1845
6-284-0	126 JULIA STREET SINGLE FAM MDL01	SARIKA KEO 126 JULIA ST CRANSTON, RI 02910-1845
6-285-0	122 JULIA STREET SINGLE FAM MDL01	MARTA TILLET ERICK HERRERA JT 122 JULIA STREET CRANSTON, RI 02910-1845
6-286-0	34 BURNSIDE STREET SINGLE FAM MDL01	PATRICIA A WALSH 34 BURNSIDE STREET CRANSTON, RI 02910-1807

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6-287-0	61 ELDRIDGE STREET SINGLE FAM MDL01	JOHN S SIMONIAN TRUSTEE PO BOX 3663 CRANSTON, RI 02910
6-288-0	ELDRIDGE STREET RES OTH IM MDL00	ROBERT E MANCHESTER HUI HUA CHEN T/E 57 ELDRIDGE STREET CRANSTON, RI 02910-1810
6-289-0	28 BURNSIDE STREET SINGLE FAM MDL01	ABRAHAM ALLISON 28 BURNSIDE STREET CRANSTON, RI 02910
6-291-0	57 ELDRIDGE STREET SINGLE FAM MDL01	ROBERT E MANCHESTER HUI HUA CHEN T/E 57 ELDRIDGE STREET CRANSTON, RI 02910-1810
6-292-0	ELDRIDGE STREET RES OTH IM MDL00	ROBERT E MANCHESTER HUI HUA CHEN T/E 57 ELDRIDGE STREET CRANSTON, RI 02910-1810
6-293-0	0 ELDRIDGE STREET RES OTH IM MDL00	SOJAILI GOMEZ 43 ELDRIDGE STREET CRANSTON, RI 02910
6-294-0	18 BURNSIDE STREET TWO FAMILY	ELIZABETH V GAUDREAU 18 BURNSIDE ST CRANSTON, RI 02910-1807
6-301-0	267 PONTIAC AVENUE TWO FAMILY	CHANTY PHENG 267 PONTIAC AVENUE CRANSTON, RI 02910-2030
6-302-0	263 PONTIAC AVENUE TWO FAMILY	ROBERT SANCHIRICO 263 PONTIAC AVE CRANSTON, RI 02910-2030
6-303-0	257 PONTIAC AVENUE THREE FAM MDL01	EVELYN GUARINO ESTATE 810 SCITUATE AVENUE CRANSTON, RI 02910-1803
6-304-0	0 PONTIAC AVENUE RES LD UND	EVELYN GUARINO ESTATE 810 SCITUATE AVENUE CRANSTON, RI 02910-1803
6-305-0	247 PONTIAC AVENUE CHARITABLE MDL01	RAINBOW HOUSE P O BOX 3671 CRANSTON, RI 02910
6-306-0	0 PONTIAC AVENUE CHARITABLE MDL00	RAINBOW HOUSE P O BOX 3671 CRANSTON, RI 02910
6-307-0	0 BECKWITH STREET RES LD UND	KHOSROV VORPERIAN SIRANUSH HAKOBYAN T/E 210 BECKWITH ST CRANSTON, RI 02910
6-308-0	0 BURNSIDE STREET RES LD UND	EVELYN GUARINO ESTATE 810 SCITUATE AVENUE CRANSTON, RI 02910-1803
6-309-0	224 BECKWITH STREET SINGLE FAM MDL01	ORLANDO TORRES CINTHIA G BAUTISTA T/E 224 BECKWITH ST CRANSTON, RI 02910-1851
6-310-0	0 BECKWITH STREET RES LD UND	ORLANDO TORRES CINTHIA G BAUTISTA T/E 224 BECKWITH ST CRANSTON, RI 02910-1851
6-311-0	21 BURNSIDE STREET SINGLE FAM MDL01	ROGER A TORTOLANI 21 BURNSIDE STREET CRANSTON, RI 02910
6-313-0	226 BECKWITH STREET SINGLE FAM MDL01	BRENT J MEDEIROS JUSTIN F BULHOES T/E 226 BECKWITH STREET CRANSTON, RI 02910-1851
6-315-0	29 BURNSIDE STREET SINGLE FAM MDL01	HECTOR M FIGUEROA CINDY FIGUEROA T/E 29 BURNSIDE STREET CRANSTON, RI 02910-1806

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6-317-0	234 BECKWITH STREET TWO FAMILY	ANA PAULA LIMA 234 BECKWITH STREET CRANSTON, RI 02910-1851
6-318-0	240 BECKWITH STREET SINGLE FAM MDL01	JACQUELINE FLORES 240 BECKWITH ST CRANSTON, RI 02910
6-319-0	33 BURNSIDE STREET SINGLE FAM MDL01	JOSEPH FRANCO BRENDA FRANCO T/E 33 BURNSIDE ST CRANSTON, RI 02910
6-320-0	39 BURNSIDE STREET SINGLE FAM MDL01	RICHARD J BLINKHORN TRUSTEE 39 BURNSIDE STREET CRANSTON, RI 02910-1806
6-322-0	108 JULIA STREET TWO FAMILY	YUDELKA M GARCIA 108 JULIA STREET CRANSTON, RI 02910
6-323-0	100 JULIA STREET TWO FAMILY	EMILDE A BURGOS 100 JULIA STREET CRANSTON, RI 02910-1844
6-324-0	104 JULIA STREET TWO FAMILY	VLADIMIR NUNEZ 104 JULIA STREET CRANSTON, RI 02910-1844
6-325-0	245 BECKWITH STREET SINGLE FAM MDL01	DAVID J GIBAU 245 BECKWITH ST CRANSTON, RI 02910-1804
6-326-0	46 MAURAN STREET SINGLE FAM MDL01	JANET K BEHNING 46 MAURAN STREET CRANSTON, RI 02910-1818
6-327-0	40 MAURAN STREET SINGLE FAM MDL01	LINDA E DISANDRO 40 MAURAN ST CRANSTON, RI 02910-1818
6-328-0	241 BECKWITH STREET SINGLE FAM MDL01	YOUSSEF NACIRI 241 BECKWITH ST CRANSTON, RI 02910-1804
6-329-0	235 BECKWITH STREET SINGLE FAM MDL01	LA NONA CONSTRUCTION LLC 154 CHAPIN AVE PROVIDENCE, RI 02909-2103
6-330-0	36 MAURAN STREET SINGLE FAM MDL01	ELIZABETH A GUEST 36 MAURAN ST CRANSTON, RI 02910-1818
6-332-0	0 BECKWITH STREET RES LD UND	LA NONA CONSTRUCTION LLC 154 CHAPIN AVE PROVIDENCE, RI 02909-2103
6-333-0	225 BECKWITH STREET SINGLE FAM MDL01	JUANA ROSARIO 225 BECKWITH ST CRANSTON, RI 02910-1804
6-335-0	32 MAURAN STREET SINGLE FAM MDL01	CHRISTOPHER S TUFTS 32 MAURAN ST CRANSTON, RI 02910-1818
6-336-0	221 BECKWITH STREET SINGLE FAM MDL01	SABINE C ADRIAN 221 BECKWITH STREET CRANSTON, RI 02910-1804
6-337-0	213 BECKWITH STREET SINGLE FAM MDL01	CHRISTY EVANS 213 BECKWITH ST CRANSTON, RI 02910-1804
6-338-0	22 MAURAN STREET SINGLE FAM MDL01	DIANE M SPINNEY 22 MAURAN ST, CRANSTON, RI 02910
6-339-0	20 MAURAN STREET SINGLE FAM MDL01	MARIAN R AVAKIAN 20 MAURAN ST CRANSTON, RI 02910-1818

<u>Property ID</u>	<u>Location/Land Use Description</u>	<u>Owner(s)</u>
6-340-0	209 BECKWITH STREET TWO FAMILY	LUPITA G PEREZ AUDENCIO D PEREZ CHANCHAVAC T/E 209 BECKWITH ST CRANSTON, RI 02910-1804
6-341-0	205 BECKWITH STREET TWO FAMILY	MARGARET G WOGBEH 205 BECKWITH STREET CRANSTON, RI 02910-1804
6-343-0	237 PONTIAC AVENUE SINGLE FAM MDL01	LAYLLAH DUARTE 237 PONTIAC AVE CRANSTON, RI 02910-1831
6-344-0	235 PONTIAC AVENUE SINGLE FAM MDL01	PANHA PO 235 PONTIAC AVE CRANSTON, RI 02910
6-345-0	229 PONTIAC AVENUE TWO FAMILY	SOBEIDA OSORIO FRANCELLY M BRITO JT 229 PONTIAC AVE CRANSTON, RI 02910-1831
6-346-0	0 PONTIAC AVENUE RES LD UND	LOC CONSTRUCTION 160 PRUDENCE AVE PROVIDENCE, RI 02909-5435
6-347-0	219 PONTIAC AVENUE SINGLE FAM MDL01	JEAN A LEGER FOURTS EVA LEGER T/E 219 PONTIAC AVENUE CRANSTON, RI 02910-1830
6-348-0	217 PONTIAC AVENUE TWO FAMILY	LEONILDA PIRES 217 PONTIAC AVE CRANSTON, RI 02910-1830
6-349-0	213 PONTIAC AVENUE SINGLE FAM MDL01	SABINO SCOGNAMIGLIO GAIL SCOGNAMIGLIO T/E 213 PONTIAC AVENUE CRANSTON, RI 02910-1830
6-350-0	207 PONTIAC AVENUE SINGLE FAM MDL01	RYAN P OLSEN 207 PONTIAC AVE CRANSTON, RI 02910-1830
6-351-0	12 PRESTON DRIVE SINGLE FAM MDL01	BRUNO J SUKYS NIJOLE T SUKYS T/E 12 PRESTON DRIVE CRANSTON, RI 02910-1823
6-352-0	15 MAURAN STREET SINGLE FAM MDL01	KILSSY M CAMPOS 15 MAURAN ST CRANSTON, RI 02910-1817
6-353-0	21 MAURAN STREET SINGLE FAM MDL01	KEVIN P CARLEY 21 MAURAN STREET CRANSTON, RI 02910-1817
6-354-0	22 PRESTON DRIVE SINGLE FAM MDL01	DONALD G DEMERS ESTATE 22 PRESTON DRIVE CRANSTON, RI 02910-1823
6-355-0	26 PRESTON DRIVE SINGLE FAM MDL01	KENNETH S DUHAMEL LOREN I DUHAMEL TRUSTEES 125 WEST WILLOW LANE CHARLESTOWN, RI 02813-1728
6-356-0	27 MAURAN STREET SINGLE FAM MDL01	MARGUERITE M LOPES 31 MAYFLOWER DR CRANSTON, RI 02905
6-357-0	33 MAURAN STREET SINGLE FAM MDL01	KEVIN COSTA JOHN COSTA 33 MAURAN ST CRANSTON, RI 02910-1817
6-358-0	30 PRESTON DRIVE SINGLE FAM MDL01	YUANWEN CI LILI LIN T/E 30 PRESTON DR CRANSTON, RI 02910
6-359-0	34 PRESTON DRIVE SINGLE FAM MDL01	GABRIEL LOPEZ SUSAN CARTON-LOPEZ T/E 34 PRESTON DRIVE CRANSTON, RI 02910-1823
6-360-0	37 MAURAN STREET SINGLE FAM MDL01	PAULA L QUESNEL 37 MAURAN ST CRANSTON, RI 02910-1817

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6-361-0	41 MAURAN STREET SINGLE FAM MDL01	JORGE O VILLAR ANA C VILLAR T/E 41 MAURAN ST CRANSTON, RI 02910-1817
6-363-0	40 PRESTON DRIVE SINGLE FAM MDL01	SUZANNE M FLYNN 40 PRESTON DR CRANSTON, RI 02910-1823
6-364-0	72 JULIA STREET SINGLE FAM MDL01	WILLIAM J HAYS MING Y HONG T/E 72 JULIA STREET CRANSTON, RI 02910-1251
6-366-0	48 PRESTON DRIVE SINGLE FAM MDL01	BENJAMIN P SHULVER 48 PRESTON DRIVE CRANSTON, RI 02910-1823
6-368-0	64 JULIA STREET SINGLE FAM MDL01	FRANTZ BEL LANDY C DELACRUZ SANTOS 64 JULIA STREET CRANSTON, RI 02910-1815
6-369-0	56 JULIA STREET SINGLE FAM MDL01	OLAKUNLE OLADAPO ADEDUNMOMI ADEREMI T/E 56 JULIA ST CRANSTON, RI 02910-1834
6-373-0	45 PRESTON DRIVE SINGLE FAM MDL01	LISA L KAROL BRENT PAQUIN JT 45 PRESTON DR CRANSTON, RI 02910-1822
6-376-0	39 PRESTON DRIVE SINGLE FAM MDL01	ALBERTO A JIMENEZ 39 PRESTON DRIVE CRANSTON, RI 02910-1822
6-377-0	35 PRESTON DRIVE SINGLE FAM MDL01	ROBERT JOSEPH DWARES 35 PRESTON DRIVE CRANSTON, RI 02910-1822
6-380-0	31 PRESTON DRIVE SINGLE FAM MDL01	ALSTON ROBINSON JR 31 PRESTON DR CRANSTON, RI 02910
6-420-0	65 JULIA STREET SINGLE FAM MDL01	WILLIAM SAMPSON JENNIFER L SAMPSON T/E 65 JULIA STREET CRANSTON, RI 02910-1814
6-421-0	75 JULIA STREET SINGLE FAM MDL01	JED R BRANDES CAROLYN B TICK T/E 75 JULIA STREET CRANSTON, RI 02910-1814
6-423-0	58 PRESTON DRIVE SINGLE FAM MDL01	NICOLE R MACHADO 58 PRESTON DR CRANSTON, RI 02910-1824
6-424-0	62 PRESTON DRIVE SINGLE FAM MDL01	HERNAN R ALFONZO MICHELLE VELEZ T/E 62 PRESTON DR CRANSTON, RI 02910-1825
6-425-0	61 MAURAN STREET SINGLE FAM MDL01	ANUP J PATEL 61 MAURAN STREET CRANSTON, RI 02920
6-426-0	63 MAURAN STREET SINGLE FAM MDL01	JAMIE IACIOFANO JOHNY PHONEPHANH JT 63 MAURAN ST CRANSTON, RI 02910-1819
6-427-0	66 PRESTON DRIVE SINGLE FAM MDL01	DEREK M DEUBNER DIANA S DEUBNER T/E 66 PRESTON DRIVE CRANSTON, RI 02910
6-428-0	67 MAURAN STREET SINGLE FAM MDL01	LEO J PICHETTE CORRINE A PICHETTE T/E 67 MAURAN STREET CRANSTON, RI 02910-1819
6-455-0	68 MAURAN STREET SINGLE FAM MDL01	BARRY J SCHIFF PAMELA T SCHIFF T/E 68 MAURAN STREET CRANSTON, RI 02910-1820
6-456-0	279 BECKWITH STREET SINGLE FAM MDL01	ANTHONY LAURO PATRICIA LAURO CO-TRUSTEES 279 BECKWITH STREET CRANSTON, RI 02910-1805

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6-457-0	275 BECKWITH STREET SINGLE FAM MDL01	GABRIELA ROBINSON 275 BECKWITH STREET CRANSTON, RI 02910-1805
6-458-0	66 MAURAN STREET SINGLE FAM MDL01	YUDEH VICTORIA DUNBAR 66 MAURAN ST CRANSTON, RI 02910-1820
6-459-0	60 MAURAN STREET SINGLE FAM MDL01	STANLEY M JOHNSON JOANNE E JOHNSON T/E 60 MAURAN ST CRANSTON, RI 02910-1820
6-461-0	269 BECKWITH STREET SINGLE FAM MDL01	DONALD GENDRON LINDA A GENDRON T/E 269 BECKWITH STREET CRANSTON, RI 02910-1805
6-462-0	50 MAURAN STREET SINGLE FAM MDL01	ZACHARY PINTO ELEANOR DEMUTH 50 MAURAN STREET CRANSTON, RI 02910-1820
6-463-0	85 JULIA STREET SINGLE FAM MDL01	MARIANA C CHIULLI 85 JULIA ST CRANSTON, RI 02910-1839
6-464-0	265 BECKWITH STREET SINGLE FAM MDL01	STEVEN D FITTA GERTRUDE M FITTA LIFE ESTATE 265 BECKWITH STREET CRANSTON, RI 02910-1805
6-468-0	55 BURNSIDE STREET SINGLE FAM MDL01	AARON MCLEAN ALEXA HERNANDEZ JT 55 BURNSIDE STREET CRANSTON, RI 02910-1808
6-469-0	61 BURNSIDE STREET SINGLE FAM MDL01	TERRENCE OCONNOR MOLLY OCONNOR T/E 61 BURNSIDE STREET CRANSTON, RI 02910-1808
6-470-0	270 BECKWITH STREET SINGLE FAM MDL01	JOHN S CORVESE 270 BECKWITH ST CRANSTON, RI 02910-1852
6-471-0	274 BECKWITH STREET SINGLE FAM MDL01	ARQUIMIDES VIRELLA MARIANNA VIRELLA T/E 274 BECKWITH ST CRANSTON, RI 02910-1852
6-472-0	65 BURNSIDE STREET SINGLE FAM MDL01	SUSAN M VINACCO 65 BURNSIDE STREET CRANSTON, RI 02910-1808
6-473-0	69 BURNSIDE STREET SINGLE FAM MDL01	PEIZHEN HUANG 69 BURNSIDE STREET CRANSTON, RI 02910-1808
6-474-0	278 BECKWITH STREET SINGLE FAM MDL01	WOODY A MENDOZA 278 BECKWITH ST CRANSTON, RI 02910
6-502-0	56 BURNSIDE STREET SINGLE +ADU UNK	OMAR ALI 56 BURNSIDE STREET CRANSTON, RI 02910-1809
6-503-0	54 BURNSIDE STREET SINGLE FAM MDL01	MARK M TODORIKO VERA TODORIKO T/E 54 BURNSIDE ST CRANSTON, RI 02910-1809
6-506-0	125 JULIA STREET SINGLE FAM MDL01	JUANA HERNANDEZ 125 JULIA ST CRANSTON, RI 02910-1841